



Newton Drive, Framwellgate Moor, DH1 5BE  
2 Bed - House - Semi-Detached  
O.I.R.O £125,000

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## Newton Drive Framwellgate Moor, DH1 5BE

**\*\* Current Investment Opportunity - Tenanted Until Feb'26 £700pcm \*\* Very Popular & Convenient Location \*\* Possible Off Street Parking & Gardens \*\* Upvc Double Glazing & GCH \*\* Close to Amenities, Schools & Transport Links \*\* Outskirts of Durham \*\***

The floor plan comprises: entrance hall, comfortable lounge and dining room, kitchen with door to the rear garden. The first floor has two double bedrooms and bathroom/WC which includes over bath shower. Outside, there is possible parking to the front, whilst the rear enjoys a good sized and enclosed garden.

Framwellgate Moor is situated approx. 1.5 miles north of Durham City. It is easily accessible via well-connected public transport options, and its location offers convenient access to various amenities in the vicinity. Notable nearby facilities include the esteemed University Hospital of Durham, New College Durham, and Framwellgate School, fostering a nurturing environment for learning.

A mere mile away lies the Arnison Centre Retail Park, boasting an array of shops, outlets, a supermarket, restaurants, and even a petrol station, making it a one-stop destination for various needs and desires. For everyday essentials, residents can find smaller convenience stores and shops conveniently located on Framwellgate Moor Front Street.















## GROUND FLOOR

### Hallway

### Lounge Diner

17'11 x 10'5 (5.46m x 3.18m)

### Kitchen

15'3 x 6'11 (4.65m x 2.11m)

## FIRST FLOOR

### Bedroom

11'11 x 8'11 (3.63m x 2.72m)

### Bedroom

11'4 x 8'5 (3.45m x 2.57m)

### Bathroom/WC

6'5 x 5'6 (1.96m x 1.68m)

### Agent Notes

Electricity Supply: Mains

Water Supply: Mains

Sewerage: Mains

Heating: Gas Central Heating

Broadband: Basic 7Mbps, Superfast 56Mbps, Ultrafast 10000Mbps

Mobile Signal/Coverage: Good to Average

Tenure: Freehold

Council Tax: Durham County Council, Band A - Approx. £1701p.a

Energy Rating: D

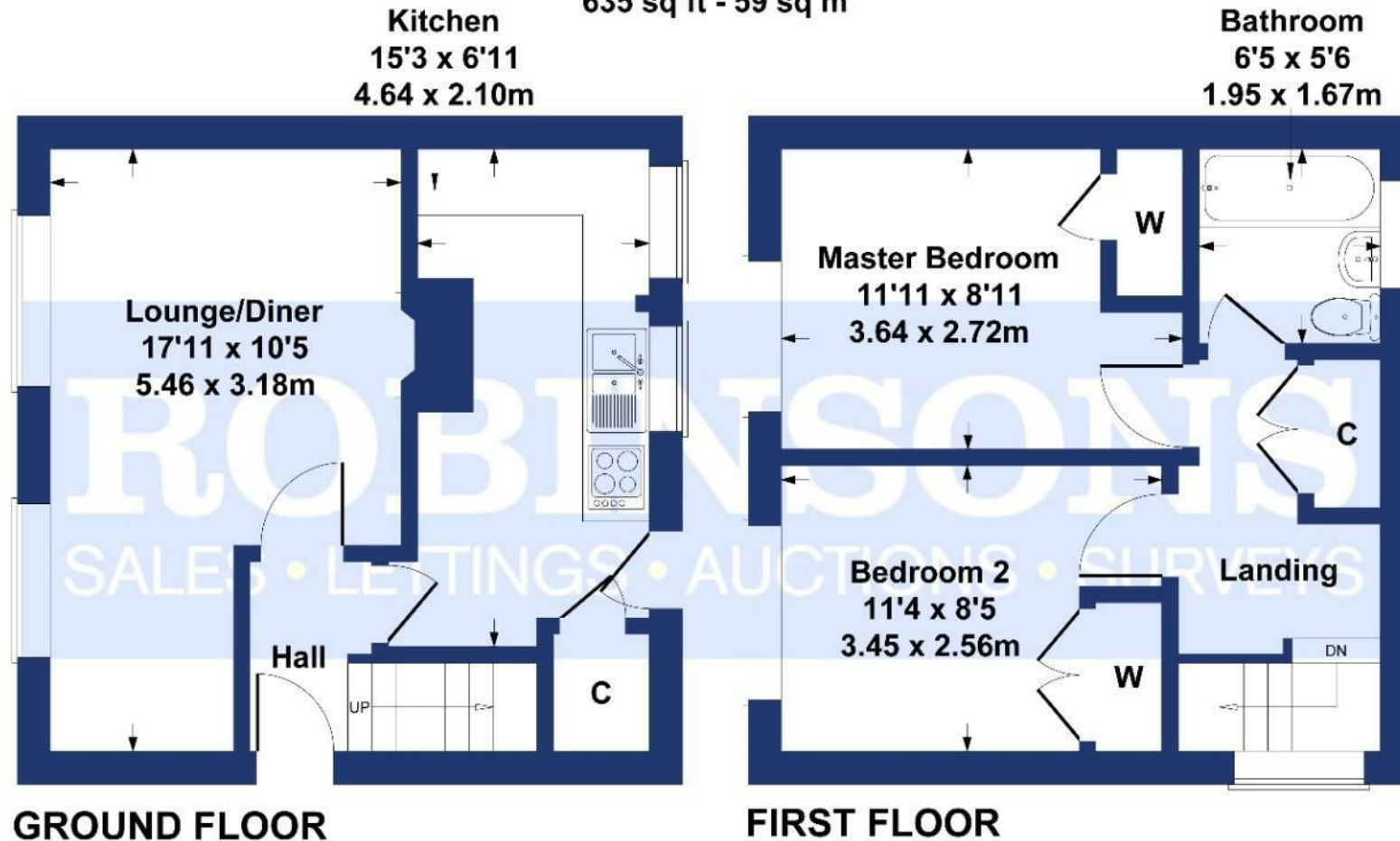


Disclaimer: The preceding details have been sourced from the seller and OnTheMarket.com. Verification and clarification of this information, along with any further details concerning Material Information parts A, B & C, should be sought from a legal representative or appropriate authorities. Robinsons cannot accept liability for any information provided.

# Newton Drive

Approximate Gross Internal Area

635 sq ft - 59 sq m



**SKETCH PLAN FOR ILLUSTRATIVE PURPOSES ONLY**

All measurements walls, doors, windows, fittings and appliances, their sizes and locations, are approximate only. They cannot be regarded as being a representation by the seller, nor their agent.

Produced by Potterplans Ltd. 2025

Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(82 plus) <b>A</b>		82
(81-81) <b>B</b>		
(69-80) <b>C</b>		
(55-68) <b>D</b>	65	
(39-54) <b>E</b>		
(21-38) <b>F</b>		
(1-20) <b>G</b>		
Not energy efficient - higher running costs		
England & Wales	EU Directive 2002/91/EC	

For clarification we wish to inform prospective purchasers that we have prepared these sales particulars as a general guide. We have not carried out a detailed survey, nor tested the services, appliances and specific fittings. Room sizes should not be relied upon for carpets and furnishings, if there are important matters which are likely to affect your decision to buy, please contact us before viewing the property. Robinsons can recommend financial services, surveying and conveyancing services to sellers and buyers. Robinsons staff may benefit from referral incentives relating to these services.

